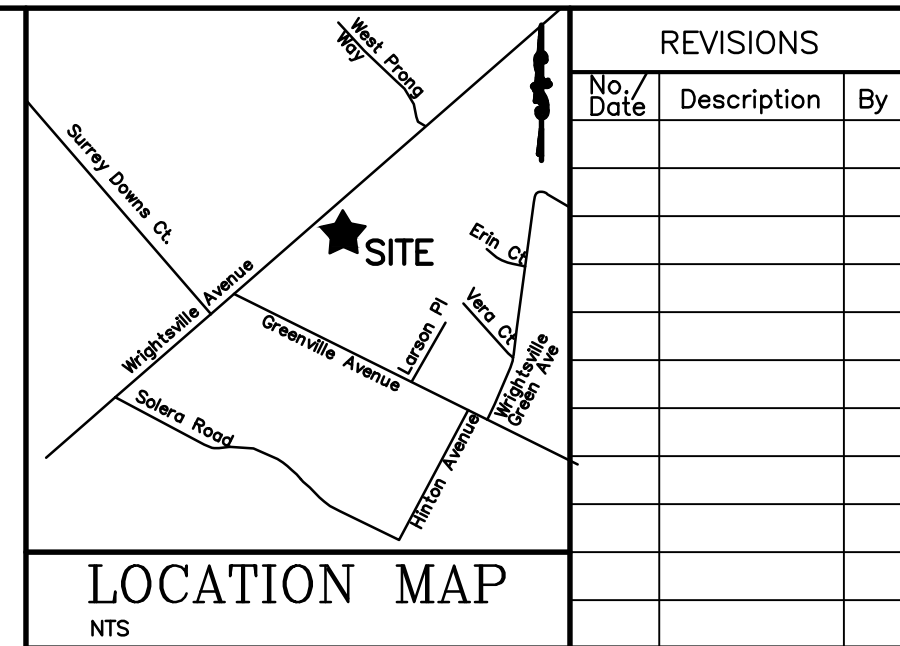


- SITE INVENTORY NOTES:**
- PREPARER OF THE PLAN: TRIPP ENGINEERING, P.C.
  - APPLICANT NAME: CHRIS MURRAY
  - SITE ADDRESS OF THE DEVELOPMENT: 6024 WRIGHTSVILLE AVE.
  - PROPERTY OWNER: JANET M. MCGEE
  - DEVELOPER: CHRIS MURRAY
  - PROPERTY BOUNDARY: SEE PLAN  
TAX PARCEL INFORMATION: R05619-001-026-000
  - PROPERTY ZONING: R-15 RESIDENTIAL
  - ADJACENT PROPERTY OWNER INFORMATION: SEE PLAN
  - VICINITY MAP: SEE PLAN
  - TOPOGRAPHY: NAVD 88
  - 100-YEAR FLOOD BOUNDARY: AE 10 AND X (SEE PLAN)
  - EXISTING DITCHES, CREEKS AND STREAMS: SEE PLAN
  - SOIL: WA-WAKULLA
  - CAMA AEC: N/A
  - CAMA LAND CLASSIFICATION: WATERSHED RESOURCE PROTECTION
  - CONSERVATION RESOURCES: NONE  
ASSOCIATED SETBACKS: N/A
  - HISTORIC OR ARCHAEOLOGICAL SITE: N/A
  - CEMETERIES, BURIAL SITES/GROUNDS: N/A
  - FORESTED AREAS, HABITAT AND DOMINANT SPECIES: N/A
  - WETLANDS: NONE
  - PROTECTED SPECIES OR HABITAT: N/A
  - EXISTING OR PROPOSED THOROUGHFARES, BIKE ROUTES, PEDESTRIAN SIDEWALKS OR TRAILS AND TRANSIT FACILITIES: 5' EASEMENT TO BE PROVIDED ALONG FRONTAGE FOR FUTURE SIDEWALK OR BIKELANE.



REVISIONS		
No./Date	Description	By

MINOR SUBDIVISION PRELIMINARY PLAN  
 EXISTING CONDITIONS, SITE INVENTORY PLAN  
**CHRIS MURRAY SUBDIVISION**  
 WILMINGTON, NORTH CAROLINA

**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

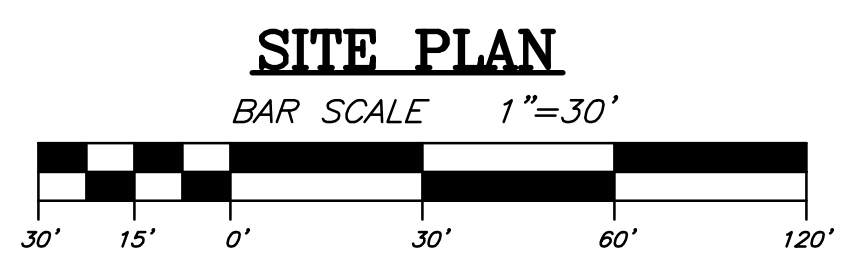
**DRAINAGE PLAN APPROVED**  
CITY OF WILMINGTON

STORMWATER DISCHARGE PERMIT NOT REQUIRED

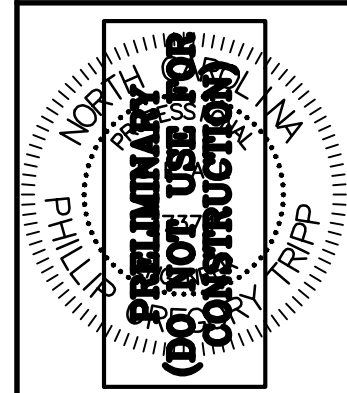
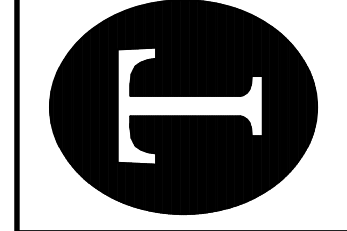
SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

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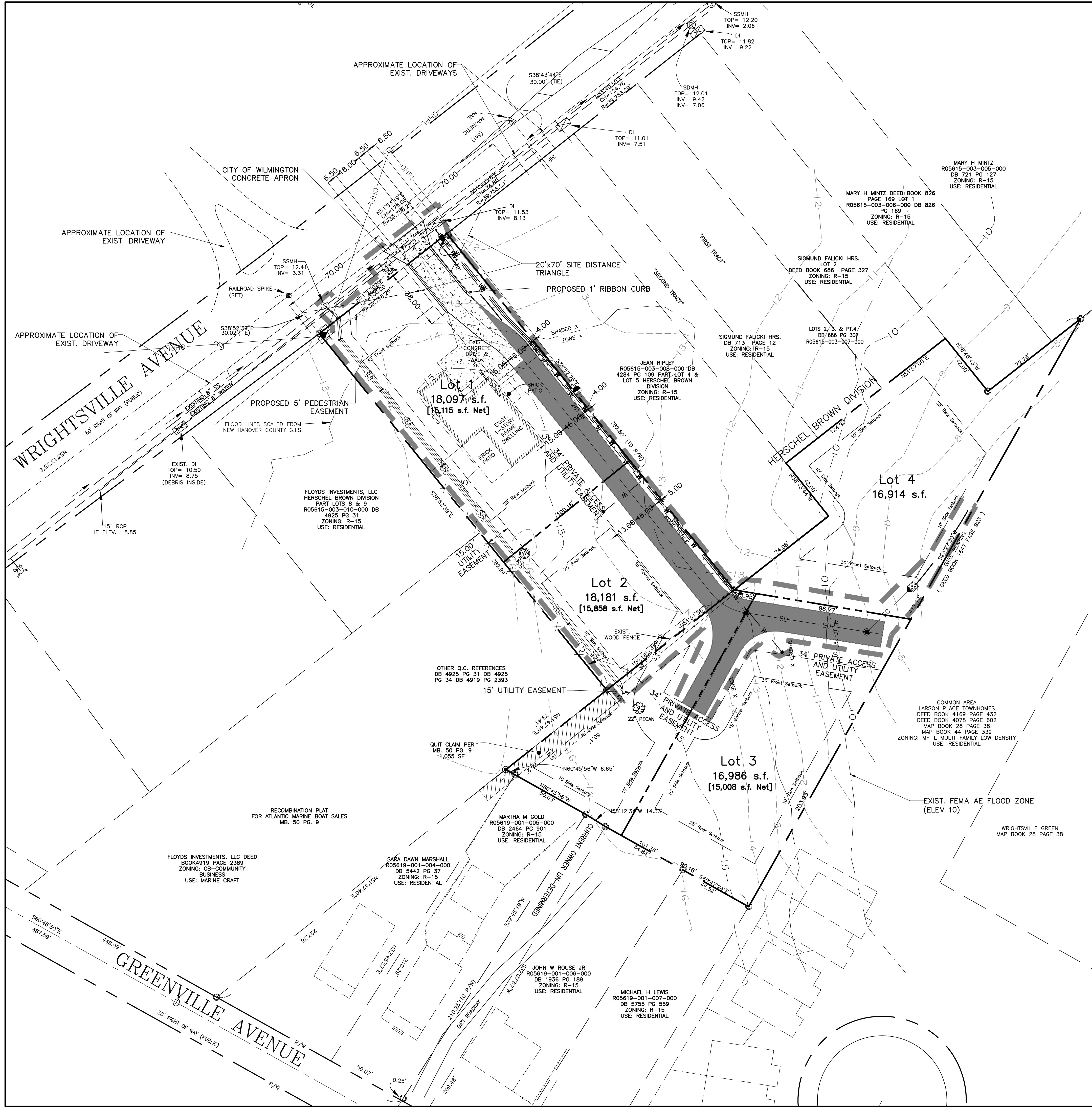
- LEGEND**
- PROPERTY BOUNDARY
  - EXISTING CONTOUR
  - EXISTING TREE



**TRIPP ENGINEERING, P.C.**  
 419 Chestnut Street  
 Wilmington, North Carolina 28401  
 Phone 910-763-6100  
 Fax 910-763-6631  
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 LICENSE NO. C-12497



DATE 09-17-14  
 DESIGN PGT  
 DRAWN EJW



- NOTES:**
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- 1) TOPOGRAPHY AND TREE SURVEY COMPLETED BY DANFORD AND ASSOC. LAND SURVEYING, P.C.
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  - 3) PERMITTING OF BUSINESS IDENTIFICATION SIGNAGE IS A SEPARATE PROCESS. NCDOT/CITY OF WILMINGTON WILL NOT ALLOW OBSTRUCTIONS WITHIN THE RIGHT-OF-WAY.
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Approved Construction Plan

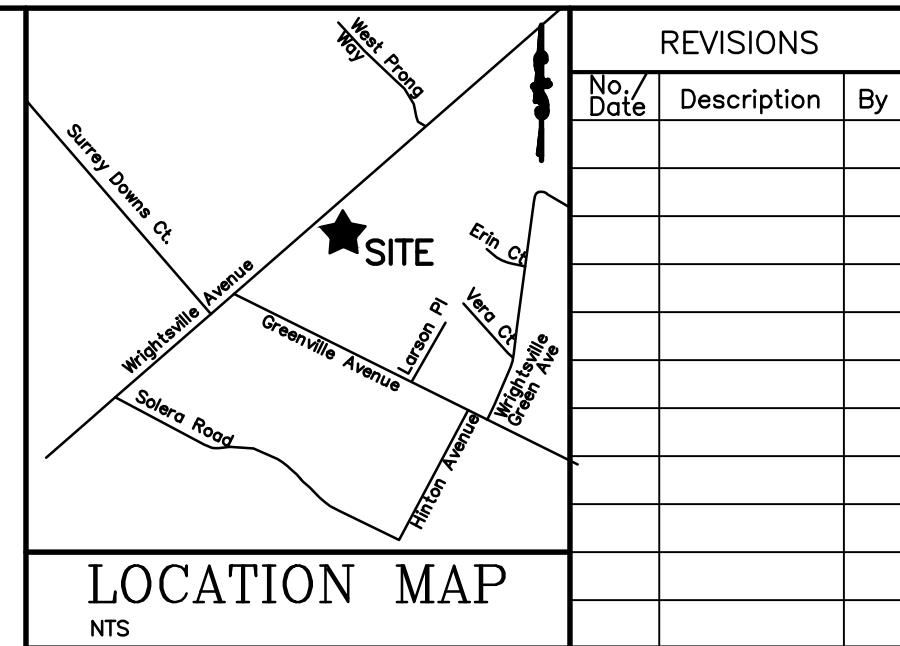
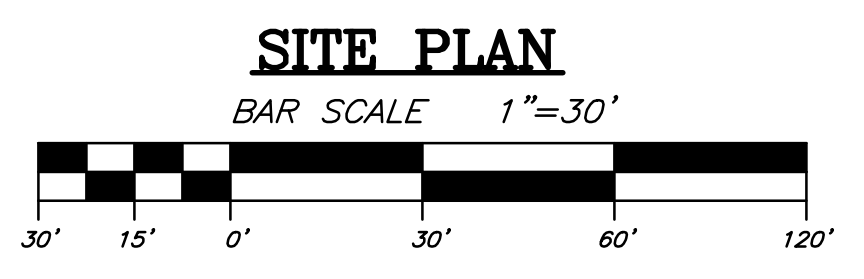
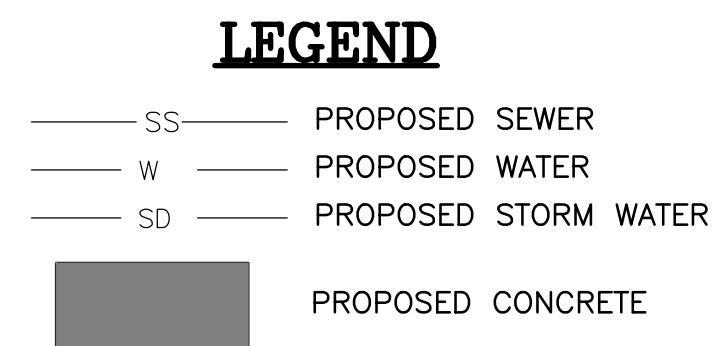
Name	Date
Planning	
Traffic	
Fire	

DRAINAGE PLAN  
APPROVED  
CITY OF WILMINGTON

STORMWATER DISCHARGE  
PERMIT NOT REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

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**SITE DATA:**

PROPERTY OWNER	JANET M. MCGEE
PROJECT ADDRESS	6024 WRIGHTSVILLE AVE.
PIN NUMBER	R05619-001-026-000
VERTICAL DATUM	NAVD 88

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.  
ZONING DISTRICT R-15 RESIDENTIAL DISTRICT  
TRACT AREA 69,481 SF (1.596 AC)  
DISTURBED AREA 83 AC

SETBACKS REQUIRED

FRONT:	30'
REAR:	25'
SIDE:	10'

PROPOSED BUILDING SETBACKS

FRONT:	30'
REAR:	25'
SIDE:	10'

BUILDING HEIGHT 35' MAXIMUM

IMPERVIOUS AREAS:

EXISTING IMPERVIOUS (HOUSE AND DRIVE)	2,550 SF (3.7%)
PROPOSED IMPERVIOUS (ACCESS DRIVE)	6,103 SF (8.8%)
MAXIMUM IMPERVIOUS NOT TO EXCEED 25% PER LOT	

BUILDING USE RESIDENTIAL  
(4) 3 BEDROOM SINGLE FAMILY RESIDENCES

PARKING REQUIRED: 2.5 SPACES/UNIT  
PARKING PROVIDED: 1 CAR GARAGE AND 2 DRIVEWAY SPACES

CAMA LAND USE: WATERSHED RESOURCE PROTECTION

PUBLIC WATER AND SEWER BY CFPIA

EXISTING WATER FLOW:	400 GPD
PROPOSED WATER FLOW:	1,600 GPD
EXISTING SEWER FLOW:	360 GPD
PROPOSED SEWER FLOW:	1,440 GPD

**REVISIONS**

No./Date	Description	By

**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-6100  
Fax 910-763-6631  
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LIC. 3506

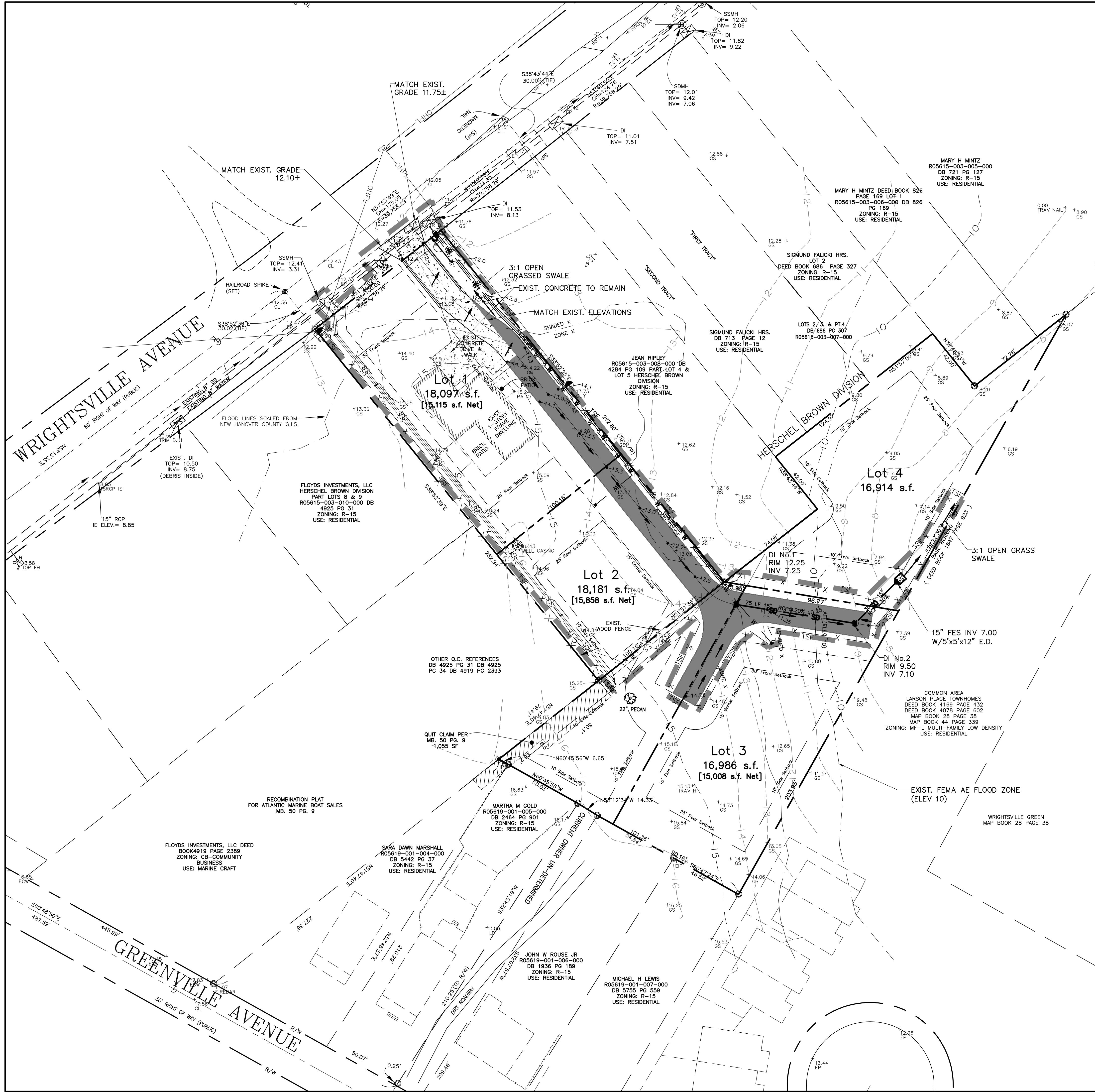
**CHRIS MURRAY SUBDIVISION**  
WILMINGTON, NORTH CAROLINA

**MINOR SUBDIVISION PRELIMINARY PLAN  
SITE AND TRAFFIC PLAN**

DATE 09-17-14  
DESIGN PGT  
DRAWN EJW

**C2**

SHEET 2 OF 5  
13033



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**Approved Construction Plan**

Name	Date
Planning	
Traffic	
Fire	

**DRAINAGE PLAN**  
APPROVED  
CITY OF WILMINGTON

STORMWATER DISCHARGE  
PERMIT NOT REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

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**LEGEND**

- SS PROPOSED SEWER
- W PROPOSED WATER
- SD PROPOSED STORM WATER
- LIMITS OF DISTURBANCE
- X TSF TEMPORARY SILT FENCE
- 3.7 PROPOSED SPOT ELEVATION
- PROPOSED CONCRETE

**SITE PLAN**

BAR SCALE 1"=30'



**REVISIONS**

No./Date	Description	By

**LOCATION MAP**

NTS

**SITE DATA:**

PROPERTY OWNER: JIMET M. MCGEE  
 PROJECT ADDRESS: 6024 WRIGHTSVILLE AVE.  
 PIN NUMBER: R05619-001-026-000  
 VERTICAL DATUM: NAVD 88

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.  
 ZONING DISTRICT: R-15 RESIDENTIAL DISTRICT  
 TRACT AREA: 69,481 SF (1.596 AC)  
 DISTURBED AREA: 83 AC

SETBACKS REQUIRED: FRONT: 30', REAR: 25', SIDE: 10'

PROPOSED BUILDING SETBACKS: FRONT: 30', REAR: 25', SIDE: 10'

BUILDING HEIGHT: 35' MAXIMUM

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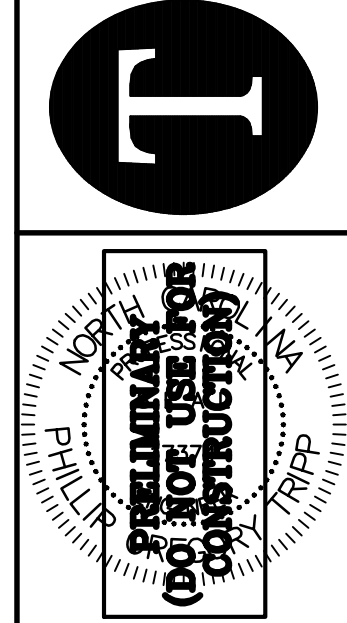
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**REVISIONS**

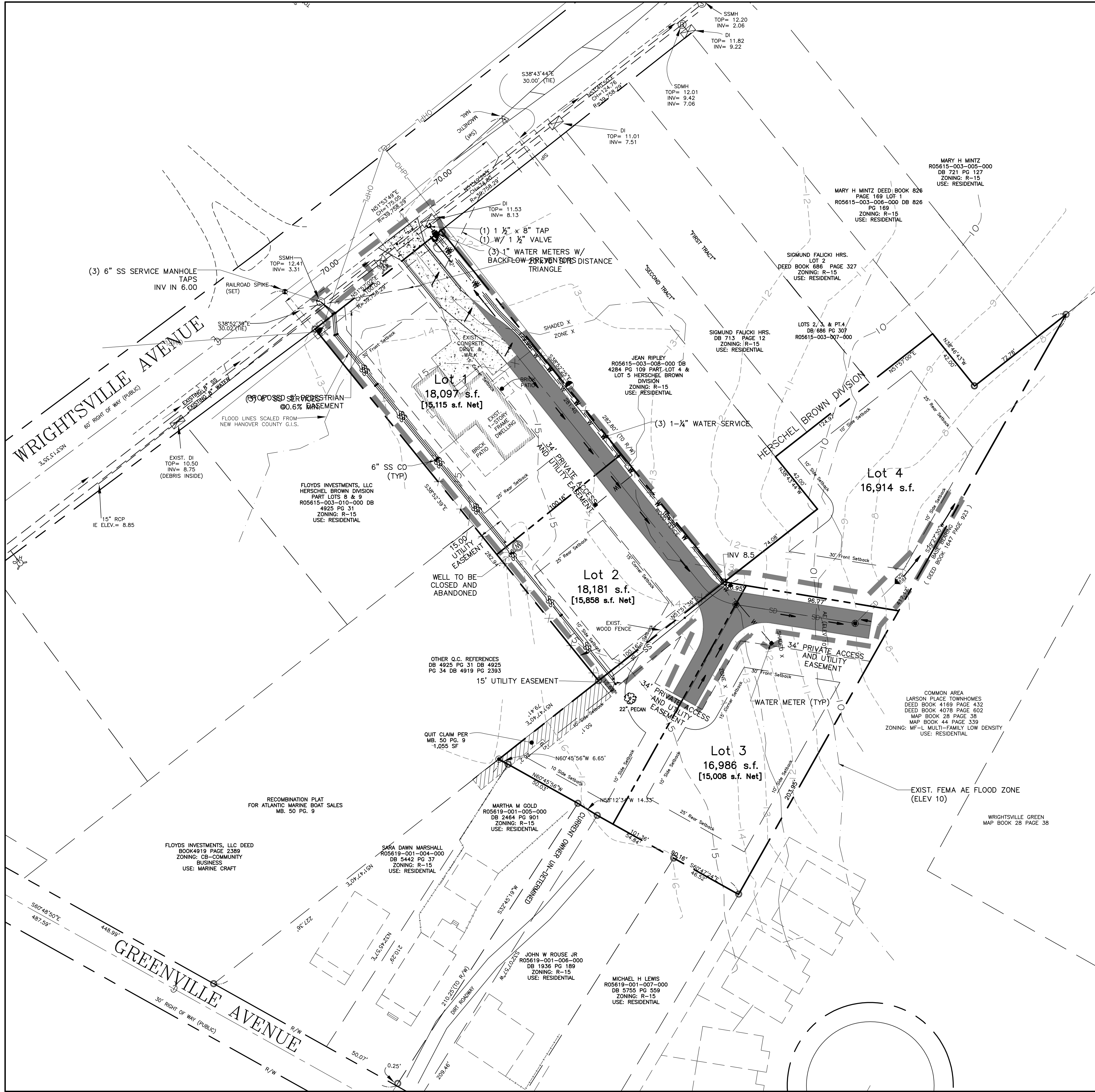
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 419 Chestnut Street  
 Wilmington, North Carolina 28401  
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 LICENSE NO. CE-1247

**CHRIS MURRAY SUBDIVISION**  
 WILMINGTON, NORTH CAROLINA



DATE: 09-17-14  
 DESIGN: PGT  
 DRAWN: EJW



**NOTES:**

**ZONING**

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**TRAFFIC**

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- 2) ONCE STREETS ARE OPEN TO TRAFFIC CONTACT TRAFFIC ENGINEERING TO REQUEST INSTALLATION OF TRAFFIC AND STREET NAME SIGNS.
- 3) TRAFFIC CONTROL DEVICES (INCLUDING SIGNS AND PAVEMENT MARKINGS) IN AREAS OPEN TO PUBLIC TRAFFIC ARE TO MEET MUTCD (MANUAL ON UNIFORM TRAFFIC CONTROL DEVICES) STANDARDS.
- 4) CONTACT TRAFFIC ENGINEERING AT 341-7888 TO ENSURE THAT ALL TRAFFIC SIGNALS FACILITIES AND EQUIPMENT ARE SHOWN ON THE PLAN. CALL TRAFFIC ENGINEERING AT 341-7888 FORTY-EIGHT HOURS PRIOR TO ANY EXCAVATION IN THE RIGHT-OF-WAY.
- 5) ANY BROKEN OR MISSING SIDEWALK PANELS, DRIVEWAY PANELS AND CURBING WILL BE REPLACED.
- 6) CONTACT KAREN DIXON AT 741-7888 TO DISCUSS STREET LIGHTING OPTIONS.
- 7) ALL TRAFFIC CONTROL SIGNS AND MARKINGS OFF THE RIGHT-OF-WAY ARE TO BE MAINTAINED BY THE PROPERTY OWNER IN ACCORDANCE WITH MUTCD STANDARDS.
- 8) NO ROWS TO BE CLOSED.
- 9) NO STREETS PROPOSED.
- 10) NO OFF SITE PARKING PROPOSED.
- 11) PRIVATE ACCESS EASEMENT IS PROPOSED.
- 12) DRIVEWAY IS EXISTING TO BE IMPROVED TO CITY STANDARDS.

**LANDSCAPING**

- 1) A LANDSCAPING PLAN INDICATING THE LOCATION OF REQUIRED STREET TREES SHALL BE SUBMITTED TO THE CITY OF WILMINGTON TRAFFIC ENGINEERING DIVISION AND THE PARKS AND RECREATION DEPARTMENT FOR REVIEW AND APPROVAL PRIOR TO THE RECORDING OF THE FINAL PLAT.
- 2) NO OBSTRUCTIONS ARE PERMITTED IN THE SPACE BETWEEN THIRTY (30) INCHES AND TEN (10) FEET ABOVE THE GROUND WITHIN THE TRIANGULAR SITE DISTANCE. (PROPOSED BACKFLOW PREVENTION DEVICES) ARE LESS THAN 30" IN HEIGHT.

**CEPLA**

- 1) PROJECT SHALL COMPLY WITH THE CEPLA CROSS CONNECTION CONTROL REQUIREMENTS. WATER METER(S) CANNOT BE RELEASED UNTIL ALL REQUIREMENTS ARE MET AND THE STATE HAS GIVEN THEIR FINAL APPROVAL.
- 2) IF THE CONTRACTOR DESIRES CEPLA WATER FOR CONSTRUCTION, HE SHALL APPLY IN ADVANCE FOR THIS SERVICE AND MUST PROVIDE A REDUCED PRESSURE ZONE (RPZ) BACKFLOW PREVENTION DEVICE ON THE DEVELOPER'S SIDE OF THE WATER METER BOX.
- 3) ANY IRRIGATION SYSTEM SUPPLIED BY CEPLA WATER SHALL COMPLY WITH THE CEPLA'S CONNECTION CONTROL REGULATION, CALL 332-6419 FOR INFORMATION.
- 4) ANY BACKFLOW PREVENTION DEVICES REQUIRED BY CEPLA WILL NEED TO BE ON THE LIST OF APPROVED DEVICES FOR USFCCOHR OR ASSE.
- 5) PUBLIC WATER AND SEWER EXIST WITHIN WRIGHTSVILLE AVE. R/W. NO RECORDS OF INDIVIDUAL EASEMENTS EXIST.
- 6) CONTACT THE NORTH CAROLINA ONE CALL CENTER AT 1-800-632-4949 PRIOR TO DOING ANY DIGGING, CLEARING OR GRADING.

**DRAINAGE**

- 1) CONVEYANCE: LOT No.1 SHEET FLOW AND OPEN GRASS SWALE TO NORTHEAST. LOT No. 2, 3 AND 4 INVERTED CROWN TO DROP INLETS TO OPEN GRASS SWALE TO SOUTHWEST.

**ENVIRONMENTAL**

- 1) CLEARING AND GRADING SHALL BE LIMITED TO THAT NECESSARY FOR ESSENTIAL SITE IMPROVEMENTS. PRIOR TO THE ISSUANCE OF A BUILDING PERMIT, PROTECTED TREES SHALL ONLY BE REMOVED FROM INDIVIDUAL HOME SITES AND COMMON AREAS AS NECESSARY TO ACCOMMODATE ESSENTIAL SITE IMPROVEMENTS, NON-MUNICIPAL EASEMENTS AND ALLOWABLE BUILDING ENVELOPES AS DETERMINED BY ESTABLISHED SETBACKS OR STORMWATER ALLOCATIONS.
- 2) NO WETLANDS EXIST ON SITE.

REVISIONS		
No./Date	Description	By

**LOCATION MAP**  
NTS

**SITE DATA:**

PROPERTY OWNER	JANET M. MCGEE
PROJECT ADDRESS	6024 WRIGHTSVILLE AVE.
PIN NUMBER	R05619-001-026-000
VERTICAL DATUM	NAVD 88

AREA NOT IN A FEMA 100-YEAR FLOOD ZONE.  
ZONING DISTRICT: R-15 RESIDENTIAL DISTRICT  
TRACT AREA: 69,481 SF (1.595 AC)  
DISTURBED AREA: .83 AC

SETBACKS REQUIRED: FRONT: 30', REAR: 25', SIDE: 10'

PROPOSED BUILDING SETBACKS: FRONT: 30', REAR: 25', SIDE: 10'

BUILDING HEIGHT: 35' MAXIMUM

IMPERVIOUS AREAS:  
EXISTING IMPERVIOUS (HOUSE AND DRIVE) 2,550 SF (3.7%)  
PROPOSED IMPERVIOUS (ACCESS DRIVE) 6,103 SF (8.8%)  
MAXIMUM IMPERVIOUS NOT TO EXCEED 25% PER LOT

BUILDING USE:	RESIDENTIAL
(4) 3 BEDROOM SINGLE FAMILY RESIDENCES	

PARKING REQUIRED: 2.5 SPACES/UNIT  
PARKING PROVIDED: 1 CAR GARAGE AND 2 DRIVEWAY SPACES

CAMA LAND USE: WATERSHED RESOURCE PROTECTION

PUBLIC WATER AND SEWER BY CEPLA	
EXISTING WATER FLOW:	400 GPD
PROPOSED WATER FLOW:	1,600 GPD
(4 @ 400 GPD)	
EXISTING SEWER FLOW:	360 GPD
PROPOSED SEWER FLOW:	1,440 GPD
(4 @ 360 GPD)	

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

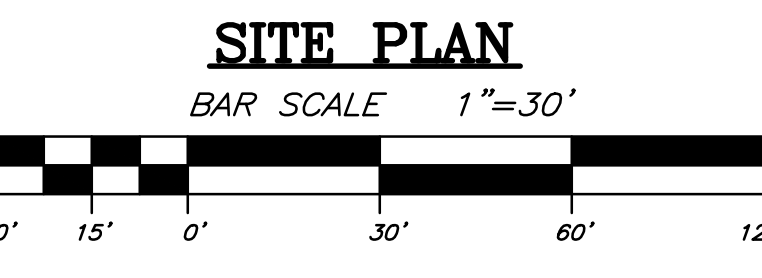
DRAINAGE PLAN  
APPROVED  
CITY OF WILMINGTON  
STORMWATER DISCHARGE  
PERMIT NOT REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

**LEGEND**

SS	PROPOSED SEWER
W	PROPOSED WATER
SD	PROPOSED STORM WATER
■	LIMITS OF DISTURBANCE
X	TSE TEMPORARY SILT FENCE
■	PROPOSED CONCRETE



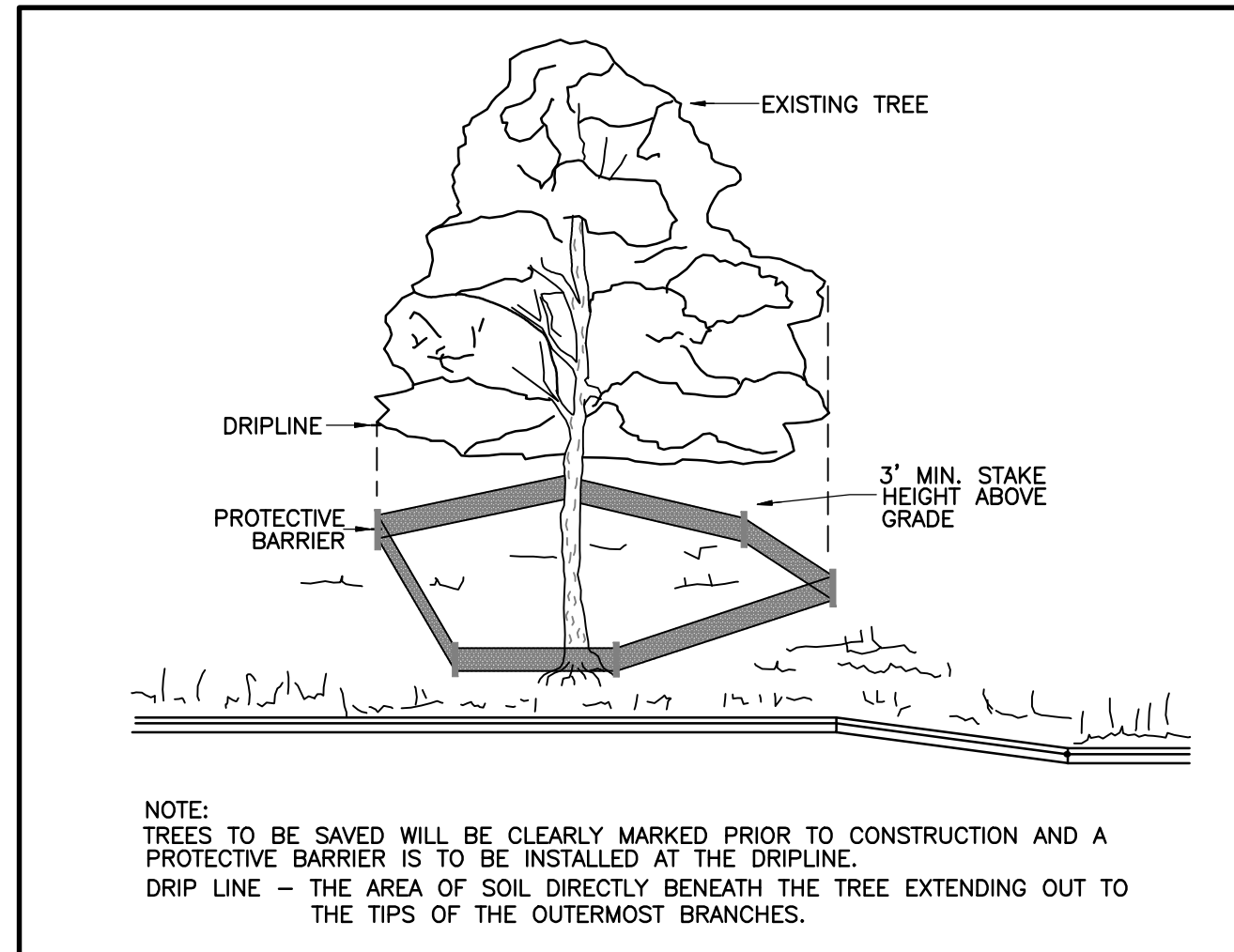
UTILITY PLAN

**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-6100  
Fax 910-763-6631  
© 2014 TRIPP ENGINEERING, P.C.

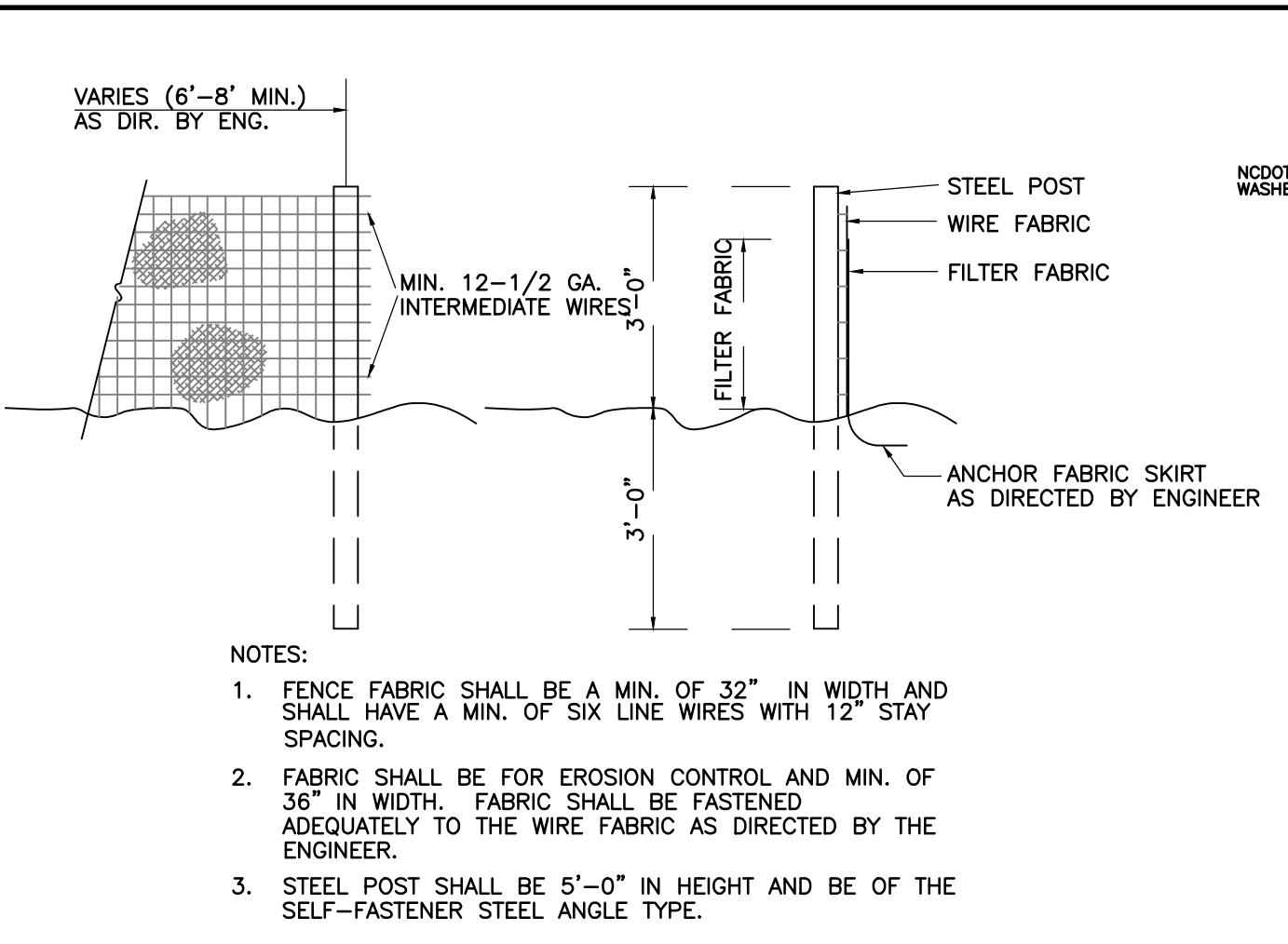
**CHRIS MURRAY SUBDIVISION**  
WILMINGTON, NORTH CAROLINA

DATE 09-17-14  
DESIGN PGT  
DRAWN EJW

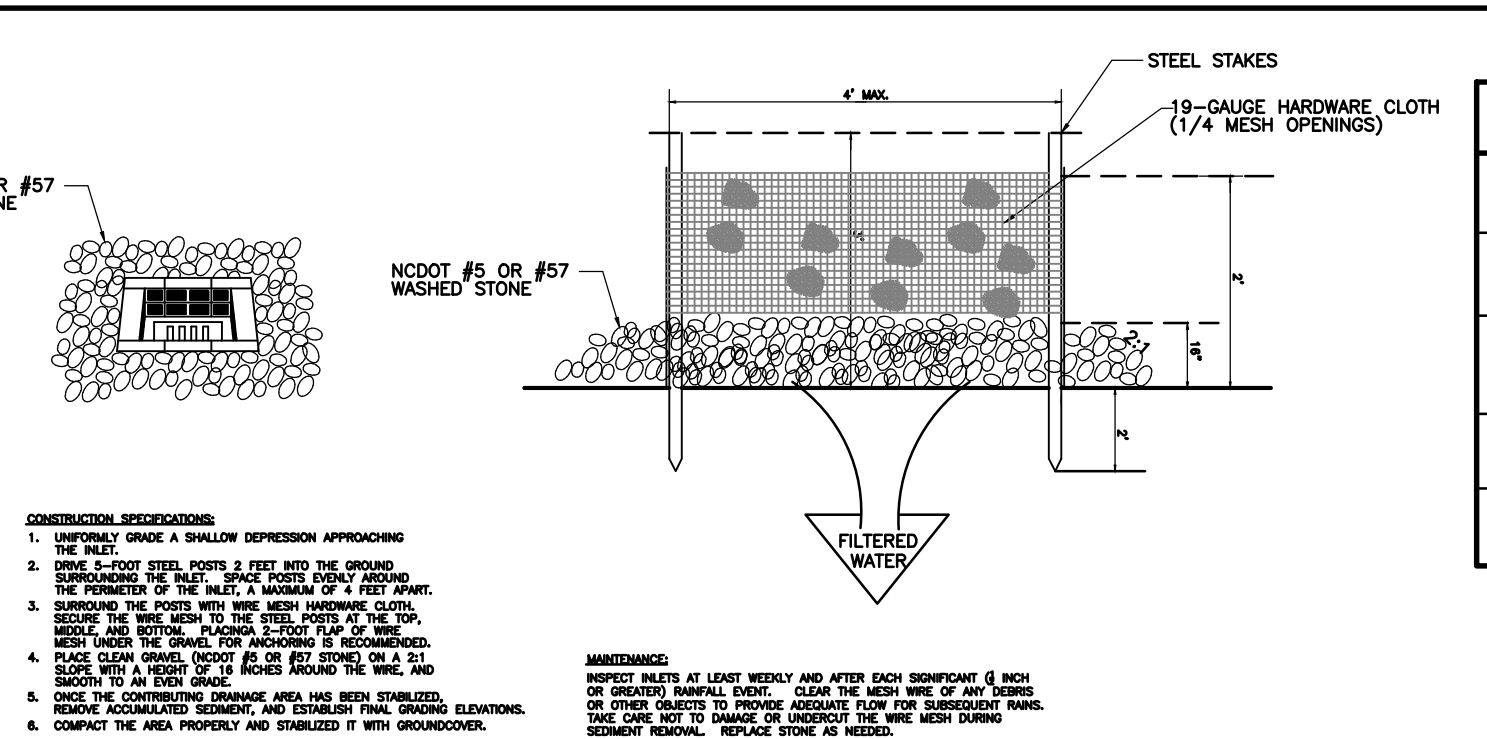
C4  
SHEET 4 OF 5  
13033



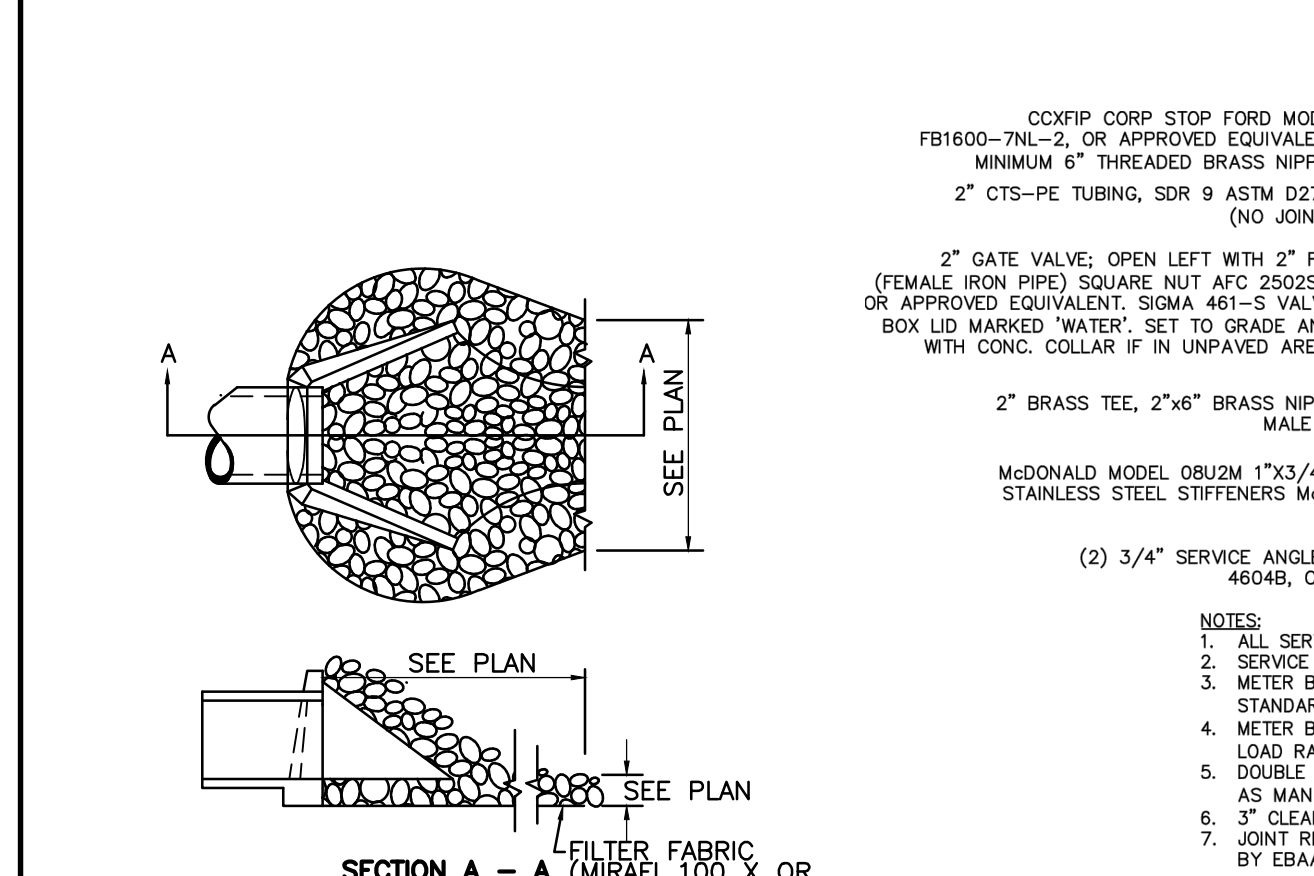
METHOD OF TREE PROTECTION DURING CONSTRUCTION NOT TO SCALE



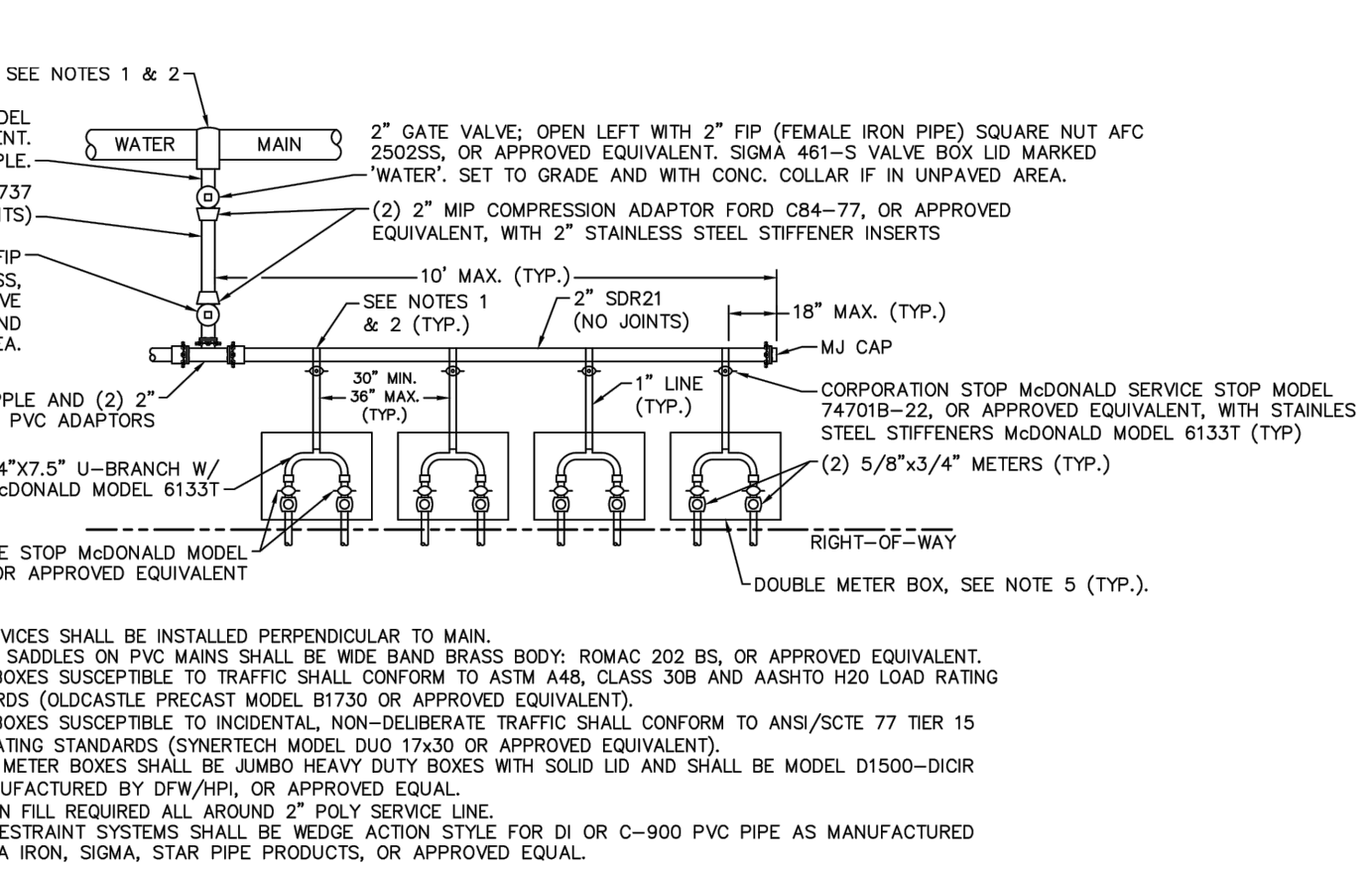
**TEMPORARY SILT FENCE**  
NTS



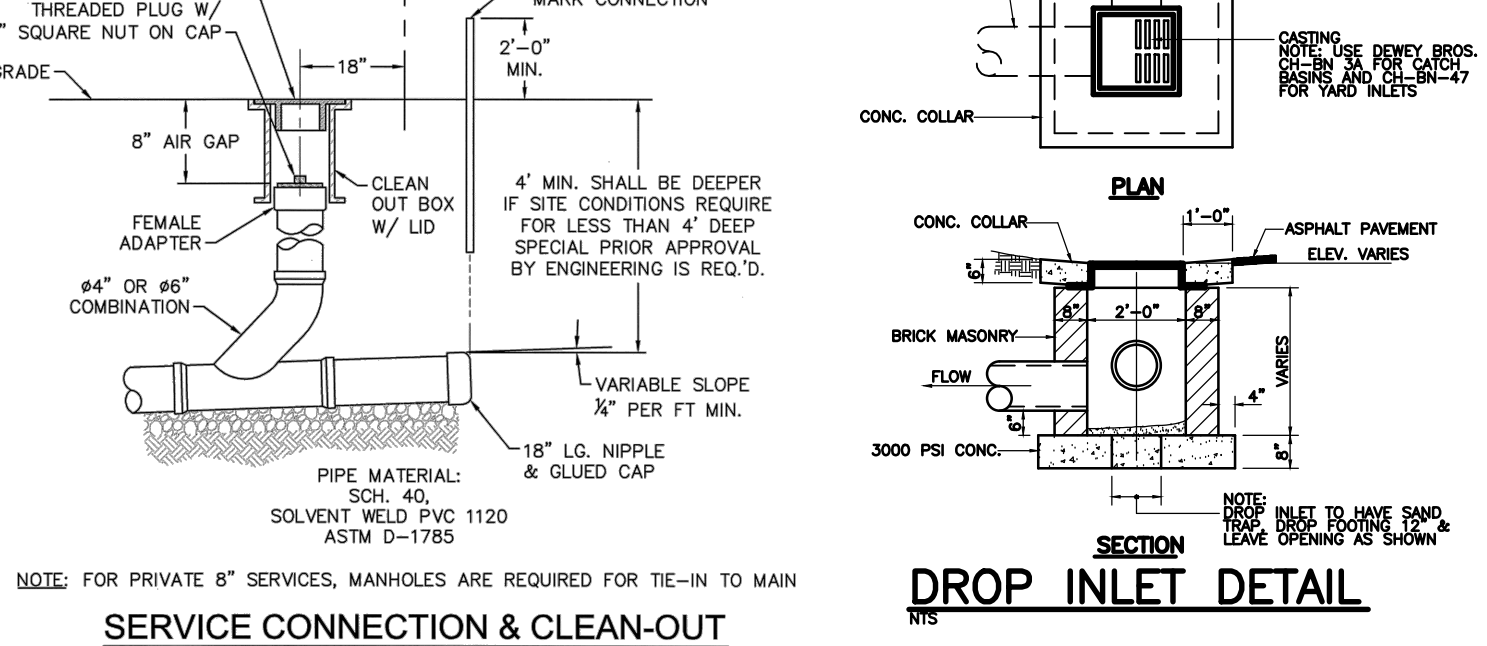
**HARDWARE CLOTH AND GRAVEL INLET PROTECTION**  
NTS



**ENERGY DISSIPATOR**  
NTS



**GANG METER DETAIL**  
NOT TO SCALE



**SERVICE CONNECTION & CLEAN-OUT**  
NOT TO SCALE

SITE AREA DESCRIPTION	STABILIZATION TIMEFRAME	STABILIZATION TIMEFRAME EXCEPTIONS
PERMETER Dikes, SWALES, DITCHES AND SLOPES	7 DAYS	NONE
HIGH QUALITY WATER (HOW ZONES)	7 DAYS	NONE
SLOPES STEEPER THAN 3:1	7 DAYS	IF SLOPES ARE 1:1 OR LESS IN LENGTH AND ARE NOT STEEPER THAN 2:1, 14 DAYS ARE ALLOWED.
SLOPES 3:1 OR FLATTER	14 DAYS	7 DAYS FOR SLOPES GREATER THAN 50 FEET IN LENGTH
ALL OTHER AREAS WITH SLOPES FLATTER THAN 4:1	14 DAYS	NONE EXCEPT FOR PERMETERS AND HOW ZONES

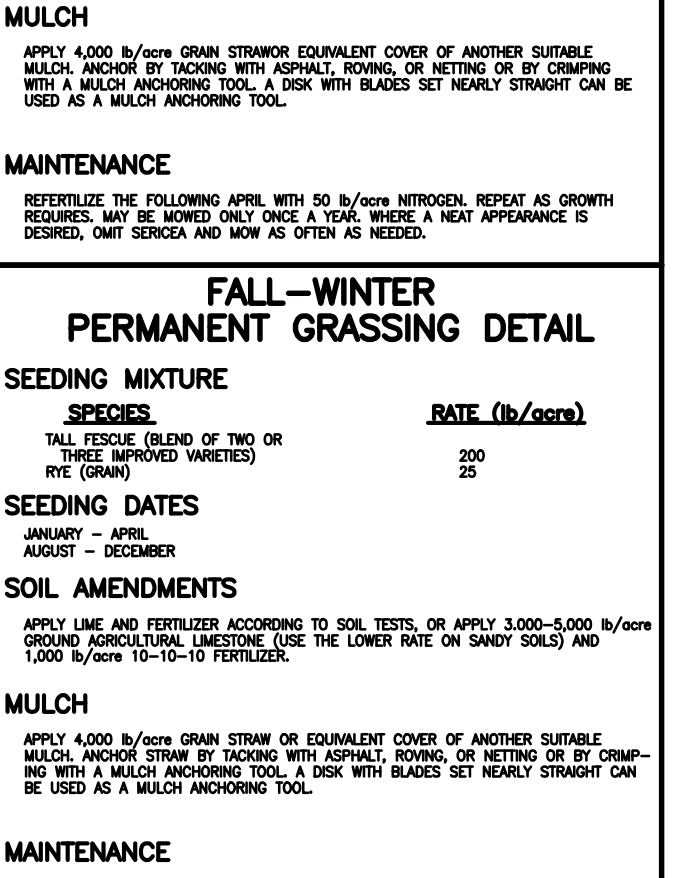
**NPDES GROUND STABILIZATION CRITERIA**  
NTS

**SPRING-SUMMER PERMANENT GRASSING DETAIL**

SPECIES	RATE (lb./acre)
PENNSYLVANIA BLUEGRASS	30
SOYALB GRASS	30
COMMON BERBERIS GRASS	30
GERMAN MILLET	30

**FALL-WINTER PERMANENT GRASSING DETAIL**

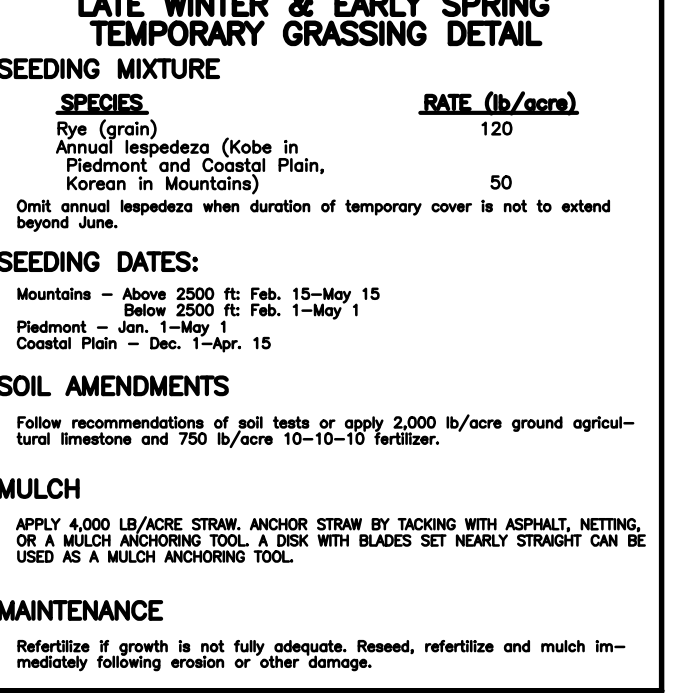
SPECIES	RATE (lb./acre)
TALL FESCUE (STEM OF TWO OR THREE NODDED WHORLS)	200
OR GRASS	25



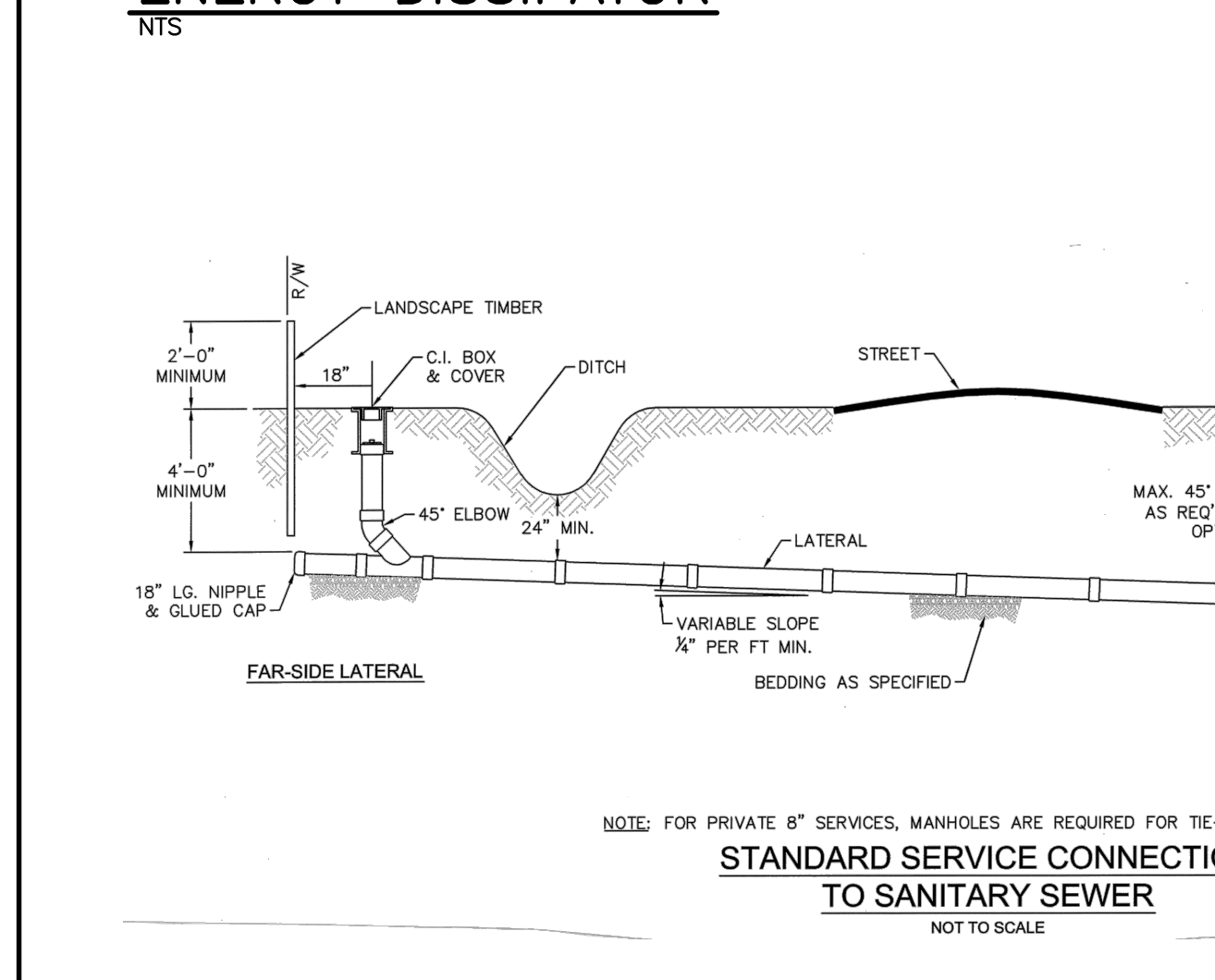
**RESIDENTIAL DRIVEWAY STREETS WITH NO CURB**  
SD 8-05 NOT TO SCALE

**TEMPORARY SUMMER GRASSING DETAIL**

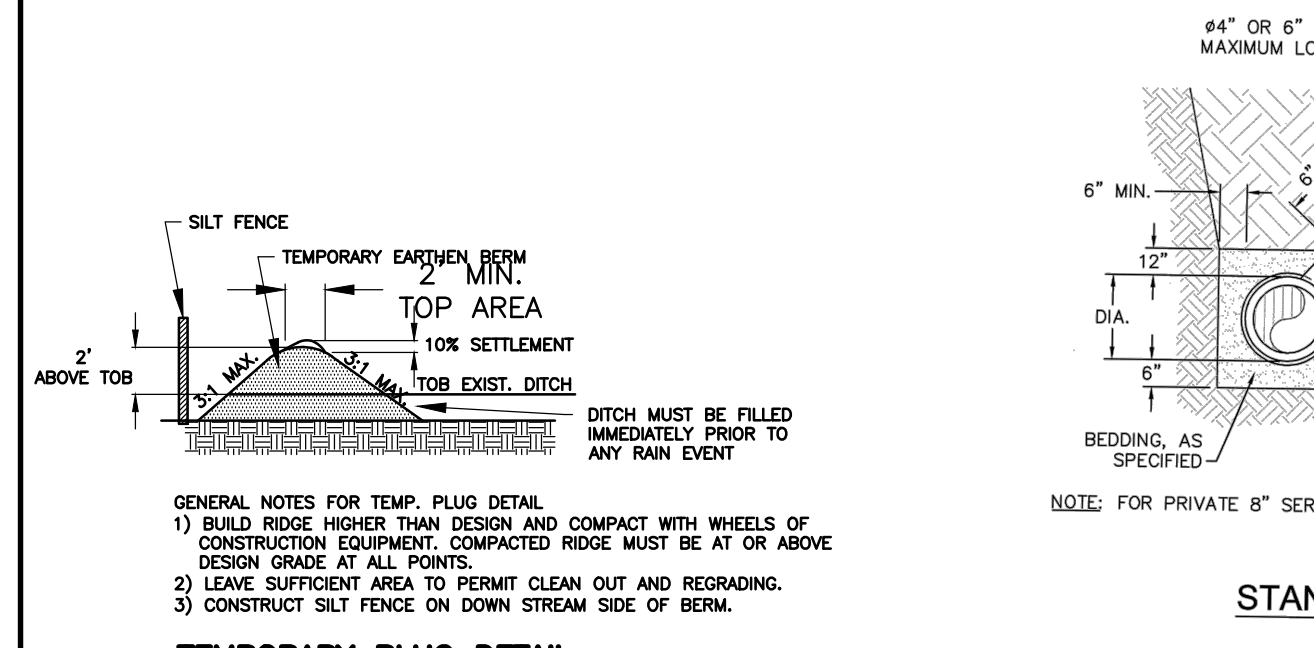
SPECIES	RATE (lb./acre)
Annual ryegrass (Kobie in Piedmont and Coastal Plain, Korean in Mountains)	120
Ornamental grasses when duration of temporary cover is not to extend beyond June	50



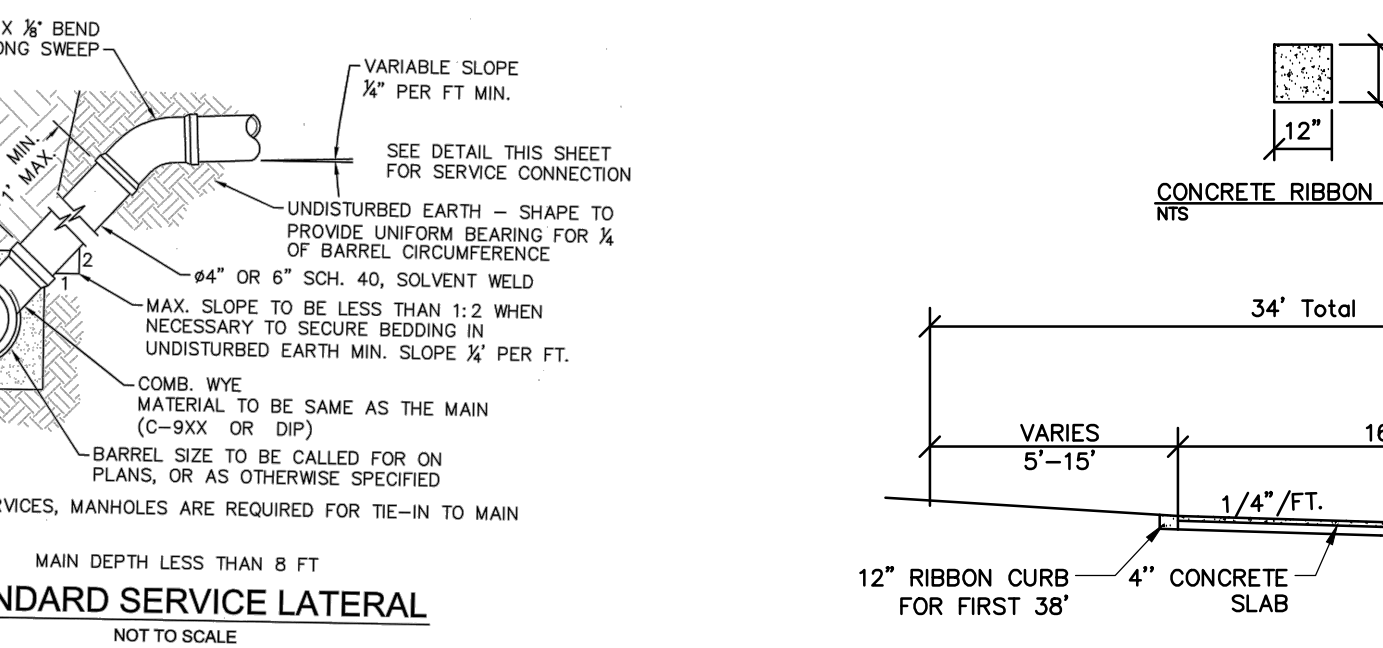
**TYPICAL GRASS SWALE**  
NTS



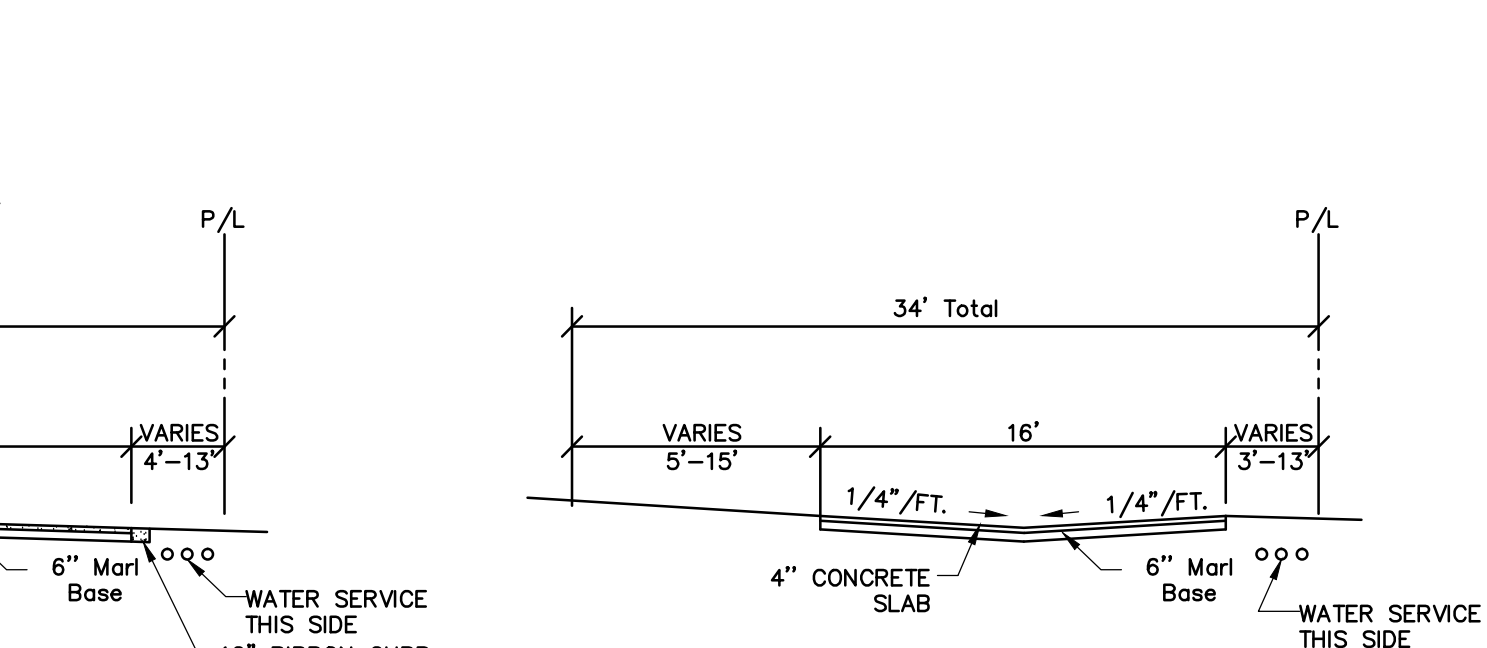
**STANDARD SERVICE CONNECTION TO SANITARY SEWER**  
NOT TO SCALE



**TEMPORARY PLUG DETAIL**  
NTS



**STANDARD SERVICE LATERAL**  
NOT TO SCALE

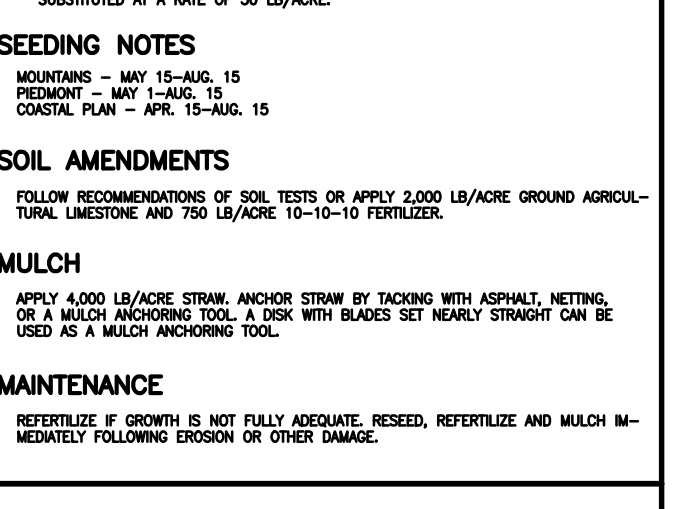


**PRIVATE ACCESS AND UTILITY EASEMENT CROSS SECTION-SUPER ELEVATED**  
SD 1-14 NTS

- Notes:
- 400' Maximum length to furthest unit from public street.
  - Serves a maximum of 4 single-family or duplex units.
  - Driveway width is 23' at the public street right-of-way.

**TEMPORARY FALL GRASSING DETAIL**

SPECIES	RATE (lb./acre)
Rye (green)	120



**PRIVATE ACCESS AND UTILITY EASEMENT CROSS SECTION-INVERTED CROWN**  
SD 1-14 NTS

- Notes:
- 400' Maximum length to furthest unit from public street.
  - Serves a maximum of 4 single-family or duplex units.
  - Driveway width is 23' at the public street right-of-way.

- REVISIONS**
- | No./Date | Description | By |
|----------|-------------|----|
|          |             |    |
|          |             |    |
- SITE WORK NOTES**
- THE CONTRACTOR SHALL VISIT THE SITE AND BECOME FAMILIARIZED WITH EXISTING CONDITIONS BOTH ON AND IMMEDIATELY ADJACENT TO THE SITE.
  - CLEARING: CONTRACTOR SHALL REMOVE ALL TREES AND VEGETATION WITHIN LIMITS OF CONSTRUCTION UNLESS OTHERWISE DESIGNATED TO REMAIN.
  - GRUBBING AND STRIPPING: CONTRACTOR SHALL MAKE AND REMOVE ROOTS, STUMPS, VEGETATION, DEBRIS, EXISTING STRUCTURES ABOVE AND BELOW GRADE, ORGANIC MATERIAL OR ANY OTHER UNSUITABLE MATERIAL WITHIN LIMITS OF CONSTRUCTION.
  - MUCKING: CONTRACTOR SHALL COORDINATE WITH OWNER AND THEIR GEOTECHNICAL REPRESENTATIVE TO COORDINATE REMOVAL OF ANY SOFT AREAS.
  - DISPOSAL: CLEARED, GRUBBED, STRIPPED OR OTHER WASTE MATERIAL SHALL BE REMOVED FROM SITE AND DISPOSED OF IN A PROPERLY PERMITTED FACILITY.
  - FILL AND COMPACT: CONTRACTOR SHALL COORDINATE WITH GEOTECHNICAL REPORT.
  - THE CONTRACTOR SHALL NOTE THAT THE GRADING PLAN MAY NOT REPRESENT A BALANCED EARTHWORK CONDITION. THE CONTRACTOR SHALL BE RESPONSIBLE FOR CUT AND FILL QUANTITIES AND COMPLETE INSTALLATION TO SPECIFIED GRADES.
  - THE CONTRACTOR SHALL FURNISH SUITABLE BORROW MATERIAL FROM AN OFF-SITE PROPERLY PERMITTED FACILITY AS REQUIRED.
  - THE CONTRACTOR IS RESPONSIBLE FOR THE LOCATION AND PROTECTION OF ALL EXISTING UTILITIES DURING CONSTRUCTION, BEFORE COMMENCING ANY EXCAVATIONS IN OR ALONG ROADWAYS OR RIGHT-OF-WAYS, PUBLIC AREAS OR IN PRIVATE EASEMENTS. THE CONTRACTOR SHALL NOTIFY ALL APPLICABLE PERSONNEL OF THEIR INTENT TO EXCAVATE, IN WRITING, NOT LESS THAN 10 DAYS PRIOR TO EXCAVATING.
  - THE CONTRACTOR SHALL BE RESPONSIBLE TO COORDINATE DISCONNECTION/RECONNECTION AND/OR THE RELOCATION OF ALL EXISTING UTILITIES WITH APPLICABLE PERSONNEL.
  - EXISTING SURVEYING PERFORMED BY DEREK DANFORD, PLS AND SUPPLIED BY THE OWNER. THE CONTRACTOR SHALL FIELD VERIFY ALL DIMENSIONS AT THE SITE. FURTHERMORE THE CONTRACTOR SHALL REPORT ALL DISCREPANCIES OR QUESTIONS TO THE ENGINEER PRIOR TO INSTALLATION.
  - THE CONTRACTOR SHALL PROVIDE ANY AND ALL LAYOUT REQUIRED TO CONSTRUCT HIS WORK UNLESS OTHERWISE DIRECTED BY OWNER.
  - ALL PVC UTILITY MAINS SHALL BE INSTALLED WITH A MINIMUM OF 36\"/>
  - CONSTRUCTION SEQUENCE
  - NO CUT SLOPE OR FILL SLOPE SHALL EXCEED A RISE OR FALL OF ONE FOOT FOR EVERY RUN OF 3 FEET (1 VERTICAL TO 3 HORIZONTAL).
  - NO SLOPE TO EXIST AT THE TIME OF CONSTRUCTION. ALL EROSION SHALL BE CONTROLLED INCLUDING SIDE SLOPES DURING AND AFTER CONSTRUCTION.
  - INSTALL PRIMARY EROSION CONTROL MEASURES BEFORE BEGINNING CONSTRUCTION INCLUDING BUT NOT LIMITED TO GRAVELED CONSTRUCTION ENTRANCE, SILT FENCE, CHECK DAMS, ETC. INSTALL ALL SECONDARY EROSION CONTROL MEASURES AS SOON AS POSSIBLE AFTER BEGINNING CONSTRUCTION.
  - ALL EROSION CONTROL MEASURES TO BE INSPECTED AFTER EACH RAIN.
  - SILT FENCE AND PROTECTION ARE TO BE CLEANED WHEN 0.5 FEET OF SEDIMENT HAVE ACCUMULATED IN FRONT OF THE DEVICE OR WHEN THEY LEAK OR FAIL. SEDIMENT TRAPS ARE CLEANED OUT AS STATED OR WHEN HALF FULL.
  - IF APPLICABLE, CONSTRUCT PROPOSED RETENTION POND TO ACT AS A SEDIMENT BASIN DURING CONSTRUCTION. REMOVE ACCUMULATION OF SILT AS REQUIRED TO ALLOW PROPER FUNCTIONING. RESTORE POND AT COMPLETION OF CONSTRUCTION.
  - IF APPLICABLE, INSTALL DROP INLETS WITH INLET PROTECTION TO ACT AS SILT TRAPS DURING CONSTRUCTION. REMOVE ACCUMULATED SILT AS NEEDED TO PREVENT SILT FROM ENTERING STORM DRAIN.
  - A 4\"/>
  - MAINTAIN ALL EROSION CONTROL MEASURES UNTIL PROJECT IS COMPLETE.
  - MORE STRINGENT MEASURES MAY BE REQUIRED TO HALT EROSION IF THOSE ON THIS PLAN PROVE TO BE LESS EFFECTIVE.
  - REMOVE ALL TEMPORARY EROSION CONTROL MEASURES UPON COMPLETION OF CONSTRUCTION. ALL PERMANENT MEASURES SHALL BE WELL ESTABLISHED PRIOR TO PROJECT COMPLETION.
- MAINTENANCE PLAN**
- ALL EROSION AND SEDIMENT CONTROL PRACTICES WILL BE CHECKED FOR STABILITY AND OPERATION FOLLOWING EVERY RUNOFF-PRODUCING RAINFALL, BUT IN NO CASE, LESS THAN ONCE EVERY WEEK AND WITHIN 24 HOURS OF EVERY HALF INCH RAINFALL.
  - ALL POINTS OF EGRESS WILL HAVE CONSTRUCTION ENTRANCES THAT WILL BE PERIODICALLY TOP-DRESSED WITH AN ADDITIONAL 2 INCHES OF #4 STONE TO MAINTAIN PROPER DEPTH. THEY WILL BE MAINTAINED IN A CONDITION TO PREVENT MUD OR SEDIMENT FROM LEAVING THE SITE. IMMEDIATELY REMOVE OBJECTIONABLE MATERIAL SPILLED, WASHED OR TRACKED ONTO THE CONSTRUCTION ENTRANCE OR ROADWAYS.
  - SEDIMENT WILL BE REMOVED FROM HARDWARE CLOTH AND GRAVEL INLET PROTECTION, BLOCK AND GRAVEL INLET PROTECTION AND ROCK DOUGHNUT INLET PROTECTION. ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS AS DESIGNED. DEBRIS WILL BE REMOVED FROM THE ROCK AND HARDWARE CLOTH TO ALLOW PROPER DRAINAGE. ROCK AND HARDWARE CLOTH WILL BE EMPTIED ONCE A WEEK AND AFTER EVERY RAIN EVENT. SEDIMENT WILL BE REMOVED FROM AROUND BEAVER DAMS, DANDY SACKS AND SOCKS ONCE A WEEK AND AFTER EVERY RAIN EVENT.
  - DIVERSION DITCHES WILL BE CLEANED AND IMMEDIATELY TO REMOVE SEDIMENT OR OBSTRUCTIONS FROM THE DITCH AREA. THE DIVERSION RIDGES WILL ALSO BE REPAIRED. SWALES MUST BE TEMPORARILY STABILIZED WITHIN 21 CALENDAR DAYS OF CEASE OF ANY PHASE OF ACTIVITY ASSOCIATED WITH A SWALE.
  - SEDIMENT WILL BE REMOVED FROM BEHIND THE SEDIMENT FENCE WHEN IT BECOMES HALF FILLED. THE SEDIMENT FENCE WILL BE REPAIRED AS NECESSARY TO MAINTAIN A BARRIER. STAKES MUST BE STEEL. STAKE SPACING WILL BE 6 FEET MAX. WITH THE USE OF EXTRA STRENGTH FABRIC, WITHOUT WIRE BACKING. STAKE SPACING WILL BE 8 FEET MAX. WHEN STANDARD STRENGTH FABRIC AND WIRE BACKING ARE USED. IF ROCK FILTERS ARE DESIGNED AT LOW POINTS IN THE IN THE SEDIMENT FENCE THE ROCK WILL BE REPAIRED OR REPLACED IF IT BECOMES HALF FULL OF SEDIMENT, NO LONGER DRAINS AS DESIGNED OR IS DAMAGED.
  - SEDIMENT WILL BE REMOVED FROM SEDIMENT TRAPS WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BATTERS WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
  - SEDIMENT WILL BE REMOVED FROM THE SEDIMENT BASIN WHEN THE DESIGN STORAGE CAPACITY HAS BEEN HALF FILLED WITH SEDIMENT. THE ROCK WILL BE CLEANED OR REPLACED WHEN THE SEDIMENT POOL NO LONGER DRAINS OR WHEN THE ROCK IS DISLODGED. BATTERS WILL BE REPAIRED OR REPLACED IF THEY COLLAPSE, TEAR, DECOMPOSE OR BECOME INEFFECTIVE. THEY WILL BE REPLACED PROMPTLY. SEDIMENT WILL BE REMOVED WHEN DEPOSITS REACH HALF THE HEIGHT OF THE 1ST BAFFLE. FLOATING SKIMMERS WILL BE INSPECTED WEEKLY AND WILL BE KEPT CLEAN.
  - ALL SEEDED AREAS WILL BE FERTILIZED, RESEED AS NECESSARY, AND MULCHED ACCORDING TO SPECIFICATIONS IN THE VEGETATIVE PLAN TO MAINTAIN A VIGOROUS, DENSE VEGETATIVE COVER. ALL SLOPES WILL BE STABILIZED WITHIN 21 CALENDAR DAYS. ALL OTHER AREAS WILL BE STABILIZED WITHIN 15 WORKING DAYS.
  - FLOODING AREAS WILL BE USED TO ADDRESS TURBIDITY ISSUES. THE PUMPS, TANKS, HOSES AND INJECTION SYSTEMS WILL BE CHECKED FOR PROBLEMS OR TURBID DISCHARGES DAILY.
- SITE POLLUTANTS NOTES**
- LOCATE AREAS DEDICATED FOR MANAGEMENT OF LAND CLEARING AND DEMOLITION DEBRIS, CONSTRUCTION AND DOMESTIC WASTE, AND HAZARDOUS OR TOXIC WASTE. THIS LOCATION SHALL BE AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE.
  - DUMPING OF PAINT OR OTHER LIQUID BUILDING MATERIALS IN STORM DRAINS IS PROHIBITED.
  - LITTER AND SANITARY WASTE-THE PERMITTEE SHALL CONTROL THE MANAGEMENT AND DISPOSAL OF LITTER AND SANITARY WASTE FROM THE SITE.
  - LOCATE EARTHEN-MATERIAL STOCK PILE AREAS AT LEAST 50' AWAY FROM STORM DRAIN INLETS AND SURFACE WATERS UNLESS IT CAN BE SHOWN THAT NO OTHER ALTERNATIVES ARE REASONABLY AVAILABLE.
  - CONCRETE MATERIALS ON-SITE INCLUDING EXCESS CONCRETE MUST BE CONTROLLED AND MANAGED TO AVOID CONTACT WITH SURFACE WATERS, WETLANDS OR BUFFERS. NO CONCRETE OR CEMENT SLURRY SHALL BE DISCHARGED FROM THE SITE.
  - ANY HAZARDOUS CONSTRUCTION RESIDUE WILL BE DISPOSED OF OR RECYCLED ON SITE IN ACCORDANCE WITH LOCAL AND STATE SOLID WASTE REGULATIONS.
  - SOIL STABILIZATION SHALL BE ACHIEVED ON ANY AREA OF A SITE WHERE LAND-DISTURBING ACTIVITIES HAVE TEMPORARILY OR PERMANENTLY CEASED ACCORDING TO THE FOLLOWING SCHEDULE:
    - ALL PERMETER DICH SLOPES AND ALL SLOPES STEEPER THAN 3 HORIZONTAL TO 1 VERTICAL SHALL BE STABILIZED WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
    - ALL OTHER DISTURBED AREAS SHALL BE PROVIDED TEMPORARY OR PERMANENT STABILIZATION WITH GROUND COVER AS SOON AS PRACTICABLE BUT IN ANY EVENT WITHIN 14 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACTIVITY.
    - CONDITIONS-IN MEETING THE STABILIZATION REQUIREMENTS ABOVE, THE FOLLOWING CONDITIONS OR EXCEPTIONS SHALL APPLY:
      - EXTENSIONS OF TIME MAY BE APPROVED BY THE PERMITTING AUTHORITY BASED ON WEATHER OR OTHER SITE-SPECIFIC CONDITIONS THAT MAKE COMPLIANCE IMPRACTICABLE.
      - ALL SLOPES 50' IN LENGTH OR GREATER SHALL APPLY TO GROUND COVER WITHIN 7 DAYS EXCEPT WHEN THE SLOPE IS FLATTER THAN 4:1. SLOPES LESS THAN 50' SHALL APPLY GROUND COVER WITHIN 14 DAYS EXCEPT WHEN SLOPES ARE STEEPER THAN 3:1. THE 7-DAY REQUIREMENT APPLIES.
      - ANY SLOPED AREA FLATTER THAN 4:1 SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT.
      - SLOPES 1:1 OR FLATTER SHALL BE EXEMPT FROM THE 7-DAY GROUND COVER REQUIREMENT EXCEPT WHEN SLOPES ARE STEEPER THAN 2:1.
      - ALTHOUGH STABILIZATION IS USUALLY SPECIFIED AS GROUND COVER, OTHER METHODS, SUCH AS CHEMICAL STABILIZATION, MAY BE ALLOWED ON A CASE-BY-CASE BASIS.
      - FOR PORTIONS OF PROJECTS WITHIN THE SEDIMENT CONTROL COMMISSION-DENIED "HIGH QUALITY WATER ZONE" (ISA NCAC 04A.0105), STABILIZATION WITH GROUND COVER SHALL BE ACHIEVED AS SOON AS PRACTICABLE BUT IN ANY EVENT ON ALL AREAS OF THE SITE WITHIN 7 CALENDAR DAYS FROM THE LAST LAND-DISTURBING ACT.

DETAILS AND NOTES

**TRIPP ENGINEERING, P.C.**  
419 Chestnut Street  
Wilmington, North Carolina 28401  
Phone 910-763-6100  
Fax 910-763-6131

**CHRIS MURRAY SUBDIVISION**  
WILMINGTON, NORTH CAROLINA

DATE 09-17-14  
DESIGN PGT  
DRAWN EJW

C5  
SHEET 5 OF 5  
13033

Approved Construction Plan

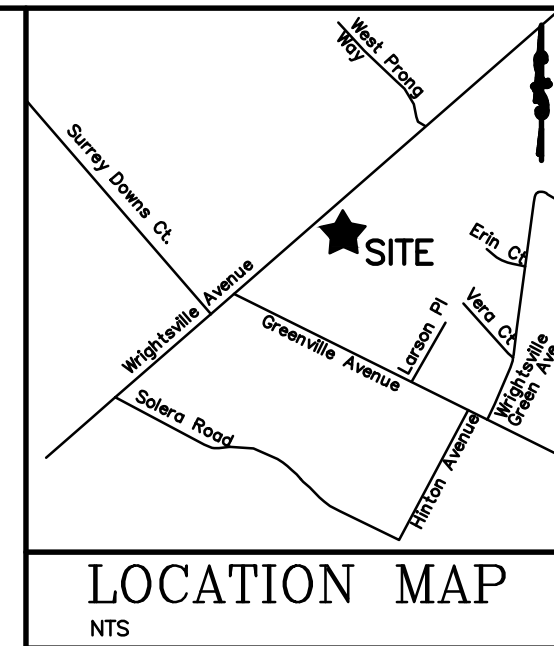
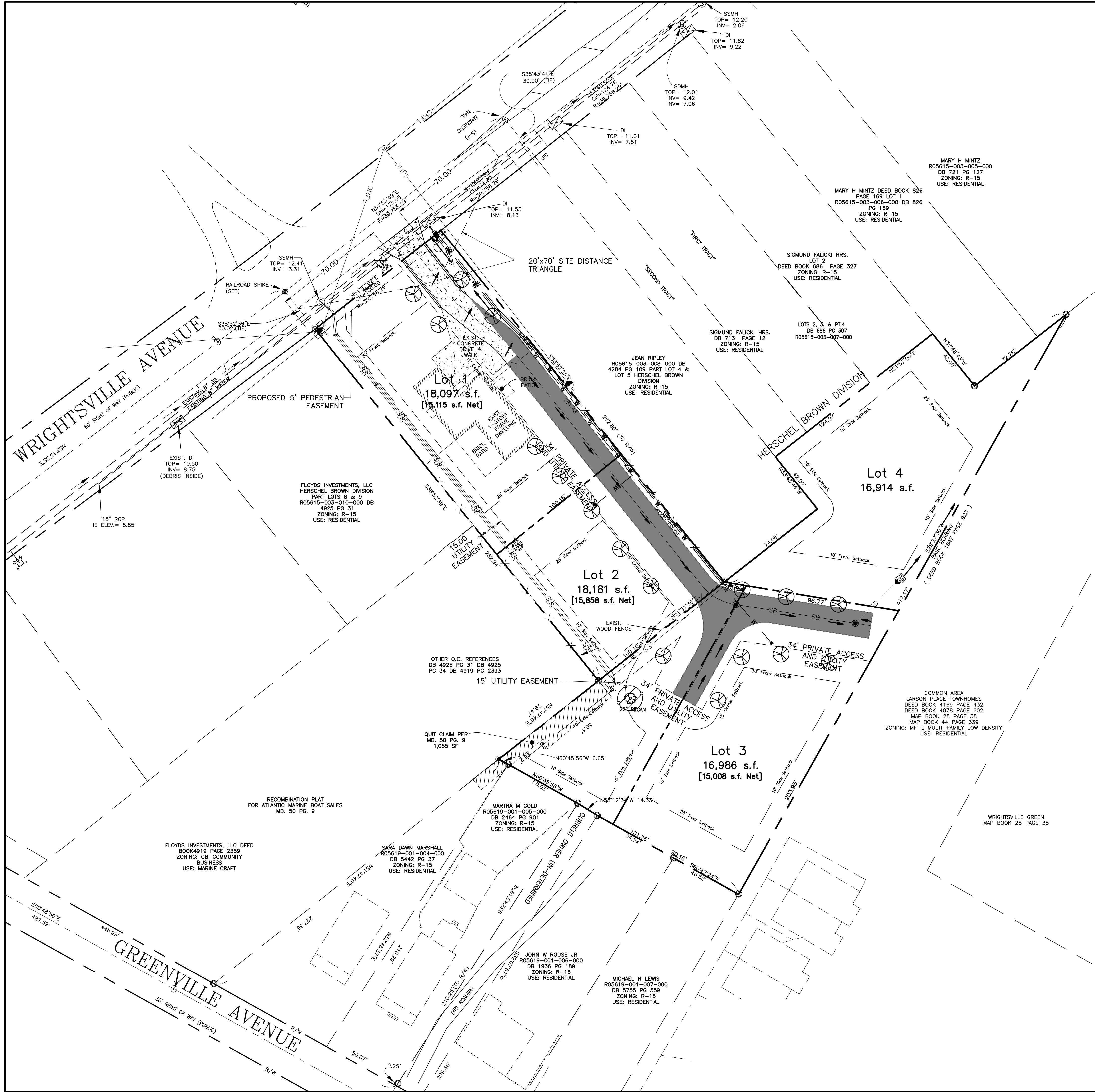
Name	Date
Planning	
Traffic	
Fire	

DRAINAGE PLAN  
APPROVED  
CITY OF WILMINGTON

STORMWATER DISCHARGE PERMIT NOT REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.



REVISIONS		
No./Date	Description	By

PLANT LIST					
O.C. - "ON CENTER"					
SYM. NO.	TYPE	COMMON NAME	SCIENTIFIC NAME	MIN. SIZE	PLANTING REMARKS
LI 17	TREE	GRAPE MYRTLE	LAGERSTROEMIA INDICIA	4'	30' O.C. (AS SHOWN)

NOTE:  
1) ALL PROPOSED VEGETATION AND UTILITIES WITHIN THE SITE TRIANGLES SHALL NOT INTERFERE WITH CLEAR VISUAL SIGHT LINES FROM 30"-10'.

Approved Construction Plan

Name	Date
Planning	
Traffic	
Fire	

DRAINAGE PLAN APPROVED  
CITY OF WILMINGTON

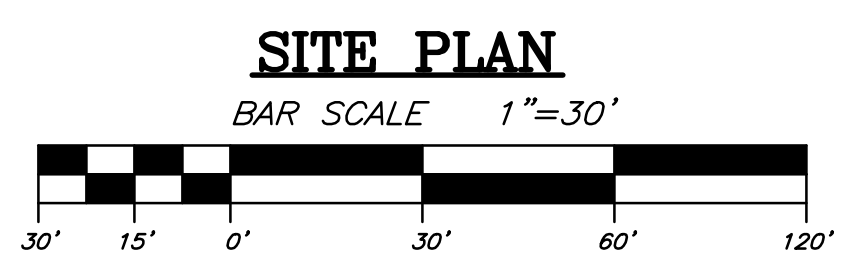
STORMWATER DISCHARGE PERMIT NOT REQUIRED

SIGNATURE \_\_\_\_\_ DATE \_\_\_\_\_

For each open utility cut of City streets, a \$325 permit shall be required from the City prior to occupancy and/or project acceptance.

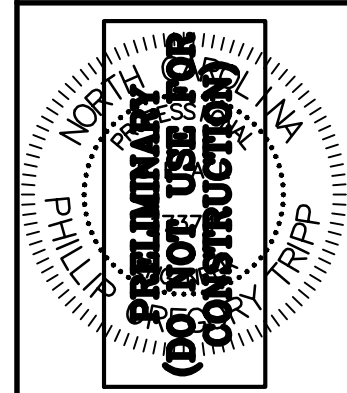
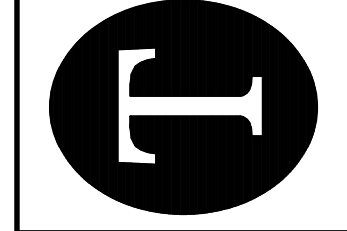
**LEGEND**

	PROPOSED SEWER
	PROPOSED WATER
	PROPOSED STORM WATER
	TREE PROTECTION - DO NOT DISTURB
	PROPOSED CONCRETE



LANDSCAPE PLAN

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Wilmington, North Carolina 28401  
Phone 910-763-5100  
Fax 910-763-5631  
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DATE 09-17-14  
DESIGN PGT  
DRAWN EJW

**L1**  
SHEET 1 OF 1  
13033

CHRIS MURRAY SUBDIVISION  
WILMINGTON, NORTH CAROLINA